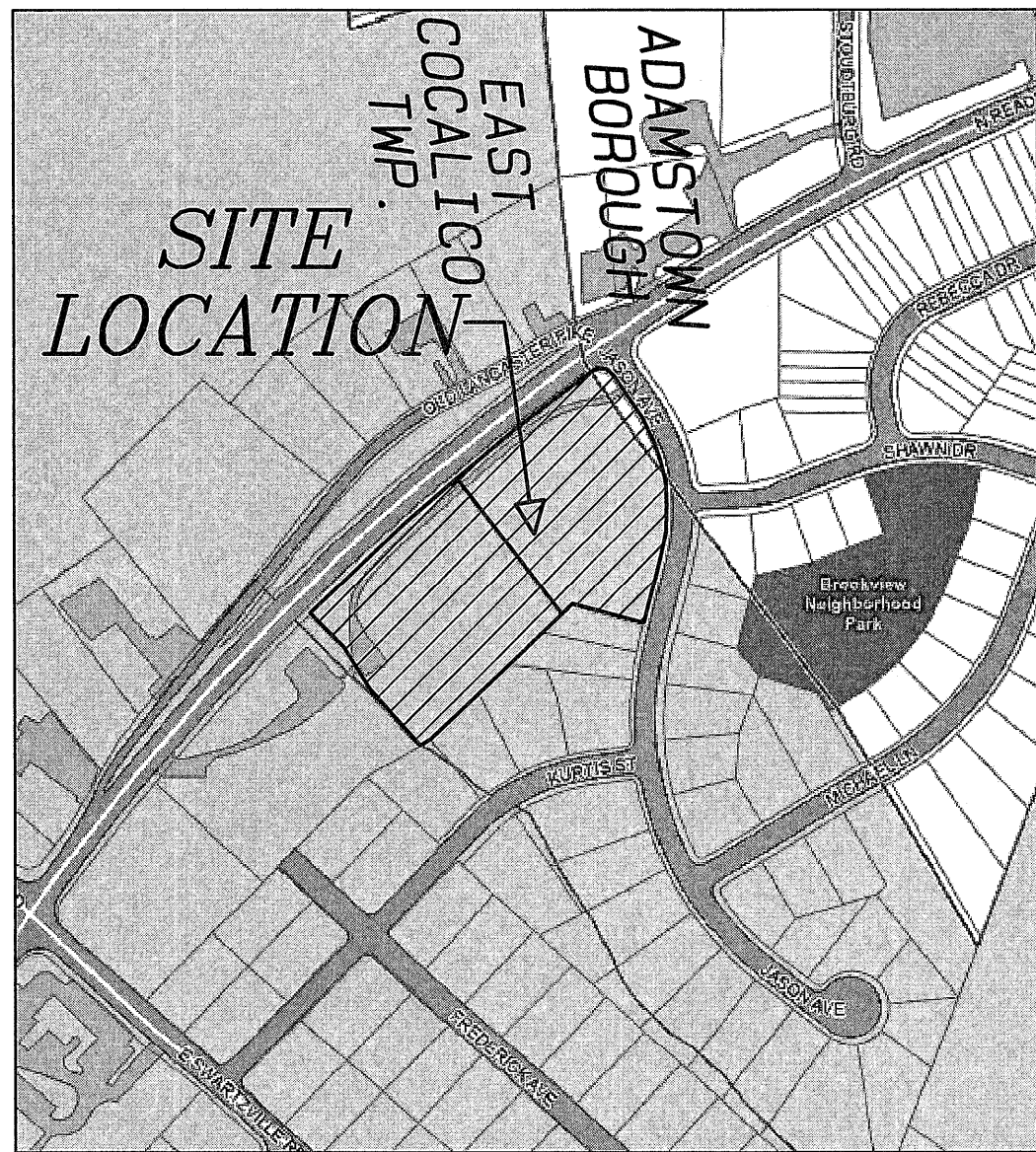




KEY MAP
NO SCALE

LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- WATER LINE AND VALVE
- GAS LINE AND VALVE
- SEWER LINE & MANHOLE
- UTILITY POLE & OVERHEAD WIRES
- SOIL TYPE
- SOILS LINE
- CONTOUR LINES
- STEEP SLOPES 20%+
- BUILDING SETBACK
- PARKING SETBACK
- RESIDENTIAL BUFFER STRIP
- OFF-STREET LOADING SETBACK
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EX. TREES TO BE REMOVED
- TBR
- TO BE REMOVED
- # OF SAME SIZE MINI-WAREHOUSE UNITS IN ROW
- # OF PARKING SPACES IN ROW
- PROBE LOCATION



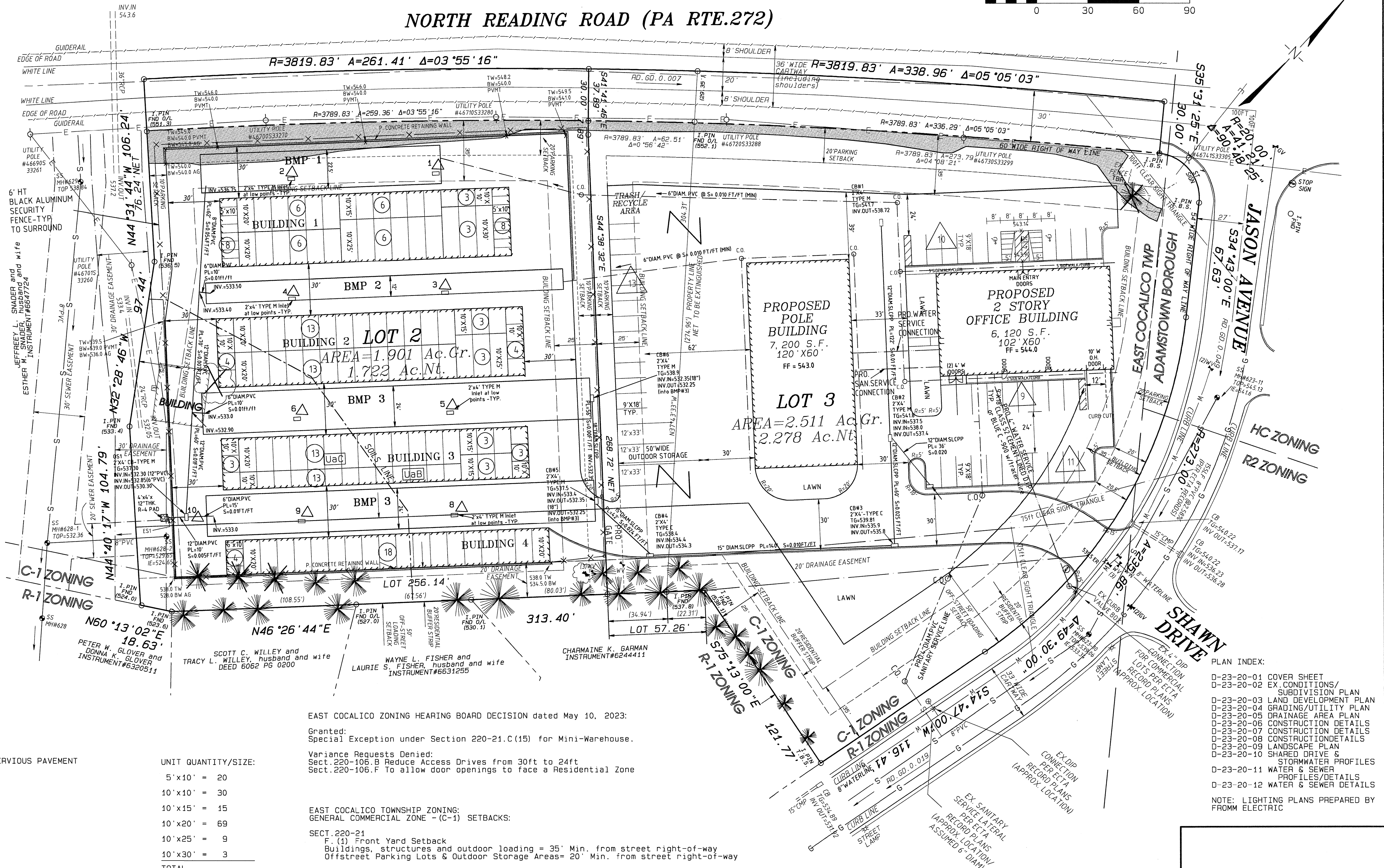
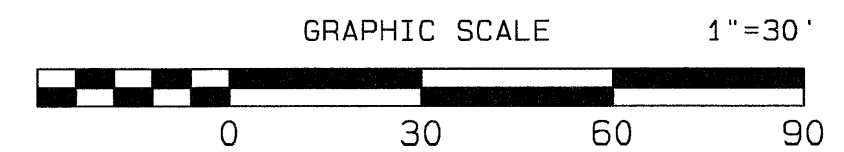
www.paonecall.org
Call Three Working Days Before Digging
PA ONE-CALL - ACT 287 NOTICE

Pursuant to PA Legislature Act no. 287, the appropriate underground utility line users have been notified through the One-Call system. The following list of utilities responded to a design stage location request indicating having underground lines in proximity to the project and have provided the location as shown. Users of this plan are hereby cautioned that the locations as shown are for design purposes only and that prior to actual construction, it shall be the contractor/developer responsibility to contact the PA One-Call System @ 1-800-242-1776 for actual utility line location and marking.

DESIGN NOTIFICATION November 6, 2023
Serial Number 2023-3102416 - EAST COCALICO TOWNSHIP
Serial Number 2023-3102418 - ADAMSTOWN BOROUGH

SITUATE IN :
EAST COCALICO TOWNSHIP & partially in
ADAMSTOWN BOROUGH, LANCASTER COUNTY, PENNSYLVANIA

NORTH READING ROAD (PA RTE.272)



EAST COCALICO ZONING HEARING BOARD DECISION dated May 10, 2023:

Granted:
Special Exception under Section 220-21.C(15) for Mini-Warehouse.

Variance Requests Denied:
Sect.220-106.B Reduce Access Drives from 30ft to 24ft
Sect.220-106.F To allow door openings to face a Residential Zone

EAST COCALICO TOWNSHIP ZONING:
GENERAL COMMERCIAL ZONE - (C-1) SETBACKS:

- SECT. 220-21
- (1) Front Yard Setback
Buildings, structures and outdoor loading = 35' Min. from street right-of-way
Offstreet Parking Lots & Outdoor Storage Areas = 20' Min. from street right-of-way
- F. (2) Side Yard Setback
Buildings, structures and outdoor loading = 25' Min. from side lot lines
Offstreet Parking Lots & Outdoor Storage Areas = 10' Min. from side lot lines
- F. (3) Rear Yard Setback
Buildings, structures and outdoor loading = 15' Min. from rear lot line
- F. (4) Residential Buffer Strip
Any lot adjoining land zoned Residential shall maintain 20' setback for non-residential buildings, structures, off-street parking lots, loading areas and outdoor storage areas from Residential zone. Such areas shall be used for a landscape strip and screen.
- G. Maximum Building Height: 35'
- H. Off-street loading - no off-street loading area shall be permitted on any side of a building facing adjoining lands within a residential zone, nor any side of a building facing an adjoining street

SECT. 220-43. Off-Street loading -
Allowed in any side or rear yard.
Cannot be located within 50ft of any land within R-1 Zone
Off-Street loading facilities shall be located on face of building not facing any adjoining land in R-1 Zone

PRELIMINARY
LAND DEVELOPMENT PLAN &
REVISION TO PLAN OF RECORD

LAND DEVELOPMENT PLAN
FORINO OFFICE CENTER

JOHN W. HOFFERT
Professional Land Surveyor
32 East Lancaster Avenue
Shillington, Penna. 19607
(610) 775-0465

DRAWN	CHECK	REVISED	
J. A. H.	J. W. H.		
03/03/23	03/06/23		
SCALE	MAP	MUN.	PLAN NUMBER
1"=30'	N/A	79	D-23-20-3